

RESOLUTION NO. 2008-236

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ELK GROVE
APPROVING A DESIGN REVIEW AND CONDITIONS OF APPROVAL FOR THE
MEADOWS SENIOR ASSISTED LIVING FACILITY PROJECT NO. EG-07-126,
ASSESSOR PARCEL NUMBER 116-0090-020**

WHEREAS, 2002 Elk Grove, LP (the "Applicant") filed an application with the City of Elk Grove ("City") for a Rezone and Design Review; and

WHEREAS, the City Council is the appropriate authority to hear and take action on this project after a recommendation by the Planning Commission; and

WHEREAS, the proposed project is located on real property in the incorporated portions of the City of Elk Grove more particularly described as APN 116-0090-020; and

WHEREAS, California Environmental Quality Act (CEQA) Guidelines Section 15301, Class 1 exemption applies to projects which include minor alterations of existing structures with negligible expansion of the existing use; and

WHEREAS, the project involves a 9,901 square foot expansion to an existing facility; and

WHEREAS, the proposed project is consistent with the General Plan, Land Use Policy Map and Zoning Code requirements; and

WHEREAS, all required services and access to the proposed parcels in compliance with the City's standards are available; and

WHEREAS, no adverse environmental effects were identified during staff review of the development application and project site visit on June 9, 2008; and

WHEREAS, no special circumstances exist that create a reasonable possibility that the activity may have a significant adverse impact on the environment, and

WHEREAS, the Planning Commission considered the Applicant's request at a public hearing on October 2, 2008, and recommended City Council approval of the Project; and

WHEREAS, the City Council considered the Applicant's request at a duly published public hearing on October 22, 2008 and received a staff report and public testimony at the public hearing.

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Elk Grove hereby approves the Meadows Senior Assisted Living Facility Project, subject to

the conditions of approval as illustrated in Exhibit A, and project plans in Exhibit B based on the following findings:

California Environmental Quality Act (CEQA)

Finding: The proposed project is categorically exempt from the California Environmental Quality Act (CEQA) review pursuant to CEQA Guidelines §15301.

Evidence: CEQA Guidelines §15301 provides that projects which include minor alterations of existing structures with negligible expansion of the existing use are categorically exempt from CEQA review. The proposed project involves a 9,901 square foot expansion to an existing facility. All public services and facilities are available and the area is not considered environmentally sensitive. The expansion of the already existing use is not anticipated to generate any significant change in the operating characteristics or impacts of the facility. The project site has no known value as habitat for endangered, rare or threatened species. No special circumstances exist that would create a reasonable possibility that the proposed development will have an adverse effect on the environment. Therefore, the proposed project qualifies for the exemption under CEQA Guidelines §15301.

Design Review

Finding: A Design Review Permit or any modification thereto shall be granted only when the designated Approving Authority makes all of the following findings:


- a. The proposed project is consistent with the objectives of the General Plan, complies with applicable zoning regulations, Specific Plan provisions, Special Planning Area provisions, Citywide Design Guidelines, and Improvement Standards adopted by the City.
- b. The proposed architecture, site design, and landscape are suitable for the purposes of the building and the site and will enhance the character of the neighborhood and community;
- c. The architecture, including the character, scale and quality of the design, relationship with the site and other buildings, building materials, colors, screening of exterior appurtenances, exterior lighting and signing and similar elements establishes a clear design concept and is compatible with the character of buildings on adjoining and nearby properties;
- d. The proposed project will not create conflicts with vehicular, bicycle, or pedestrian transportation modes of circulation; and
- e. For residential subdivision design review applications, the residential subdivision is well integrated with the City's street network, creates unique neighborhood environments, reflects traditional architectural styles, and establishes a pedestrian friendly environment.

Evidence:

The proposed Design Review is consistent with the General Plan goals, policies, and implementation programs in that it implements Land Use policies LU-2 and 3 and

Economic development policy ED-9. The proposed expansion is proposed to be constructed with the same roof pitches, windows, eave details, and exterior materials and paint colors found in the existing facility. This will ensure that the expansion maintains a consistent architectural theme with the rest of the project. Once constructed, the new expansion would be indistinguishable from the currently existing structure. Onsite circulation is minimally impacted and still accommodates emergency vehicles and access. The facility is anticipated to continue operating as it is, without any significant changes due to the added units.

PASSED AND ADOPTED by the City Council of the City of Elk Grove this 22rd day of October, 2008.



JAMES COOPER, COUNCIL MEMBER
and Temporary Presiding Officer of the
CITY OF ELK GROVE

ATTEST:



SUSAN J. BLACKSTON, CITY CLERK

APPROVED AS TO FORM:



SUSAN COCHRAN, CITY ATTORNEY

EXHIBIT A

<u>Conditions of Approval / Mitigation Measure</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
On-Going			
<p>1. The development approved by this action is a Design Review for a 14 unit, approximately 5157 square foot, expansion to an existing assisted living facility as illustrated by the following approved project plans:</p> <ul style="list-style-type: none"> • Site Plan (received 06-24-2008) • Exterior Elevations (received 06-24-2008) • Site Lighting Photometric Plan (received 06-24-2008) • Preliminary Landscape Plan (received 08-22-2008) <p>Deviations from the approved plans shall be reviewed by the City for substantial compliance and may require amendment by the appropriate hearing body.</p>	On-Going	Planning	
<p>2. The Applicant or Successors in Interest (hereby referred to as the Applicant) shall hold harmless the City, its Council Members, its Planning Commission, officers, agents, employees, and representatives from liability for any award, damages, costs and fees incurred by the City and/or awarded to any plaintiff in an action challenging the validity of this permit or any environmental or other documentation related to approval of this permit. Applicant further agrees to provide a defense for the City in any such action.</p>	On-Going	Planning	
<p>3. This action does not relieve the applicant of the obligation to comply with all ordinances, statutes, regulations, and procedures.</p>	On-Going	Planning	
Improvement Plans/Grading/Construction			
<p>4. The applicant shall submit landscape improvement plans (planting and irrigation) which are consistent with the accepted Preliminary Landscape Plans and incorporates the City's Zoning Code, City Design Guidelines and Water Conserving Landscape Requirements. Plans shall be submitted to the Planning Department and the Public Works Department for review and approval.</p>	Improvement Plans	Landscape Architect	

	<u>Conditions of Approval / Mitigation Measure</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
5.	The applicant shall revise the plans to keep the existing three space parking configuration on the west side of the facility, north of the entrance, along East Stockton Boulevard, to comply with direction from the Planning Commission on October 2, 2008.	Improvement Plans	Planning	
6.	The Applicant shall prepare and submit a drainage study and plan that includes, but is not limited to: a pre- and post-project drainage analysis of the project and project impacts; and the proposed connections to the City Storm Drainage System with adequate supporting calculations. The project shall not cause a net loss of storage, nor an increase in velocity, of drainage water within the 100-year floodplain. The study shall incorporate the City of Elk Grove Drainage Capital Improvement Plan; be consistent with the ultimate upstream development in the General Plan, and any specific, area, or master plans; and shall conform to the City of Elk Grove Improvement Standards. The study shall further demonstrate that the project lies outside the 100-year frequency floodplain after improvements are constructed in accordance with the policies in the City Floodplain Management Plan. The study must be completed and stamped by a Professional Engineer and determined by the City to be accurate, and adequate.	1 st Improvement Plan Submittal or Prior to Issuance of Grading Permit(s)	Public Works	
7.	Sewer service shall continue to be provided by SASD infrastructure to the existing sewer service lateral. Required modifications, if any, shall be to the satisfaction of SASD. Sacramento County Improvement Standards apply to any on and off-site sewer construction.	Improvement Plans	SASD	
Building Permit				
8.	Improvement plans shall be approved by Public Works prior to 1 st Building Permit.	Prior to Building Permit	Public Works	

<u>Conditions of Approval / Mitigation Measure</u>		<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
9.	The project applicant shall pay all applicable City of Elk Grove administered development impact fees in effect at the time of building permit issuance. For further information on development related fees, see the 2008 Development Related Fee Booklet at: www.elkgrovecity.org/finance/financial-planning-division/df-information.htm	Building Permit	Finance	
10.	Colors and materials of the new addition shall match the existing colors and materials.	Building Plans	Planning	
Prior to Occupancy				
11.	Upon completion of the installation of the landscaping for the project, the project landscape architect/designer shall certify that the installed landscape complies with all City Water Conserving Landscape Requirements. Certification shall be accomplished by completion of a Certificate of Conformance on a form provided by the City. Failure to submit a complete and accurate Certificate of Conformance to the Planning Department will delay final approval/occupancy of the project.	Prior to Occupancy	Landscape Architect/Planning	
12.	Prior to final inspection or occupancy of the structure on the site a Certificate of Conformance for the installed landscaping shall be provided to the City's landscape architect for approval.	Prior to Occupancy	Landscape Architect/Planning	

General Information and Compliance Items:

The following items are noted for the Applicant's information. These items are required by other local agencies, the City, state or federal agencies, and are not conditions of approval of the project.

- a. If there are any discrepancies between the approved site plan and the conditions of approval, the conditions of approval shall supersede the approved site plan. (Public Works)
- b. The Applicant shall pay all appropriate development fees charged by the City and other Special Districts providing services to the site. (Public Works)
- c. Any improvements, public or private, damaged during construction shall be replaced, by the applicant, in-kind or with new improvement. (Public Works)
- d. Street (trench) cuts into existing streets require a separate encroachment permit and the payment of street cut fees by the Applicant. Where multiple street cuts into the same street occur, a single, final surface (pavement) trench repair over all the trench cuts is required. Pavement grinding is required for the full length and width of the trenches. (Public Works)
- e. The Applicant shall design and construct all improvements in accordance with the City of Elk Grove Improvement Standards, as further conditioned herein, and to the satisfaction of Public Works. (Public Works)
- f. All driveways and intersections shall conform to the visibility easement requirement in the City of Elk Grove Improvement Standards. (Public Works)
- g. The Applicant shall submit and obtain City approval of plans and specifications for the construction of public improvements and all grading. The drainage system shall be designed in accordance with the accepted Drainage Study to accommodate runoff from the ultimate development and shall meet the City of Elk Grove Improvement Standards, construction standards, storm water design standards, and City of Elk Grove Flood Plain Management Plan and Ordinance in effect at the time of Improvement Plan approval. Street gutter flowlines shall be designed to be above the 10-year frequency flood elevation pursuant to the Floodplain Management Plan. (Public Works)
- h. The Applicant shall complete grading and construct all on-site and off-site drainage improvements in accordance with the approved Improvement Plans. (Public Works)
- i. The Applicant shall prepare and submit a Post-Construction Stormwater Quality Control Plan in accordance with the most recent version of the *Stormwater Quality Design Manual* for the Sacramento Region. Post-construction source and treatment controls shall be designed in accordance with the City of Elk Grove Improvement Standards and the *Stormwater Quality Design Manual*. The design of post-construction source and treatment controls shall be submitted for approval with the improvement plans regardless of whether they constitute private or public improvements. A separate maintenance manual describing proper maintenance practices for the specific treatment controls to be constructed shall also be submitted and accepted by the City. (Public Works)
- j. In order to mitigate erosion and sediment control problems on the project site, the project shall comply with the City's Land Grading and Erosion Control Ordinance. If the project size is more than one acre, a Notice of Intent (NOI) shall be filed to obtain coverage under the California State Water Resources General Construction Activity Storm Water Permit. Permits are issued by the State Water Resources Control Board, which can provide all applicable information to complete and file the necessary documents. Applicant shall comply with the terms of the general construction permit, the City of Elk Grove Municipal Code, and the NPDES Waste Discharge Requirements for the City of Elk Grove Municipal Storm Sewer Discharges. (Public Works)

- k. The Applicant shall obtain applicable California Department of Fish and Game, U.S. Army Corps of Engineers, and other required state and federal permits. The conditions of such permits must be reviewed and considered acceptable by the City. The City will not accept any conservation or other conditional easements on the drainage courses to be conveyed to the City. (Public Works)

Elk Grove Community Services District Fire

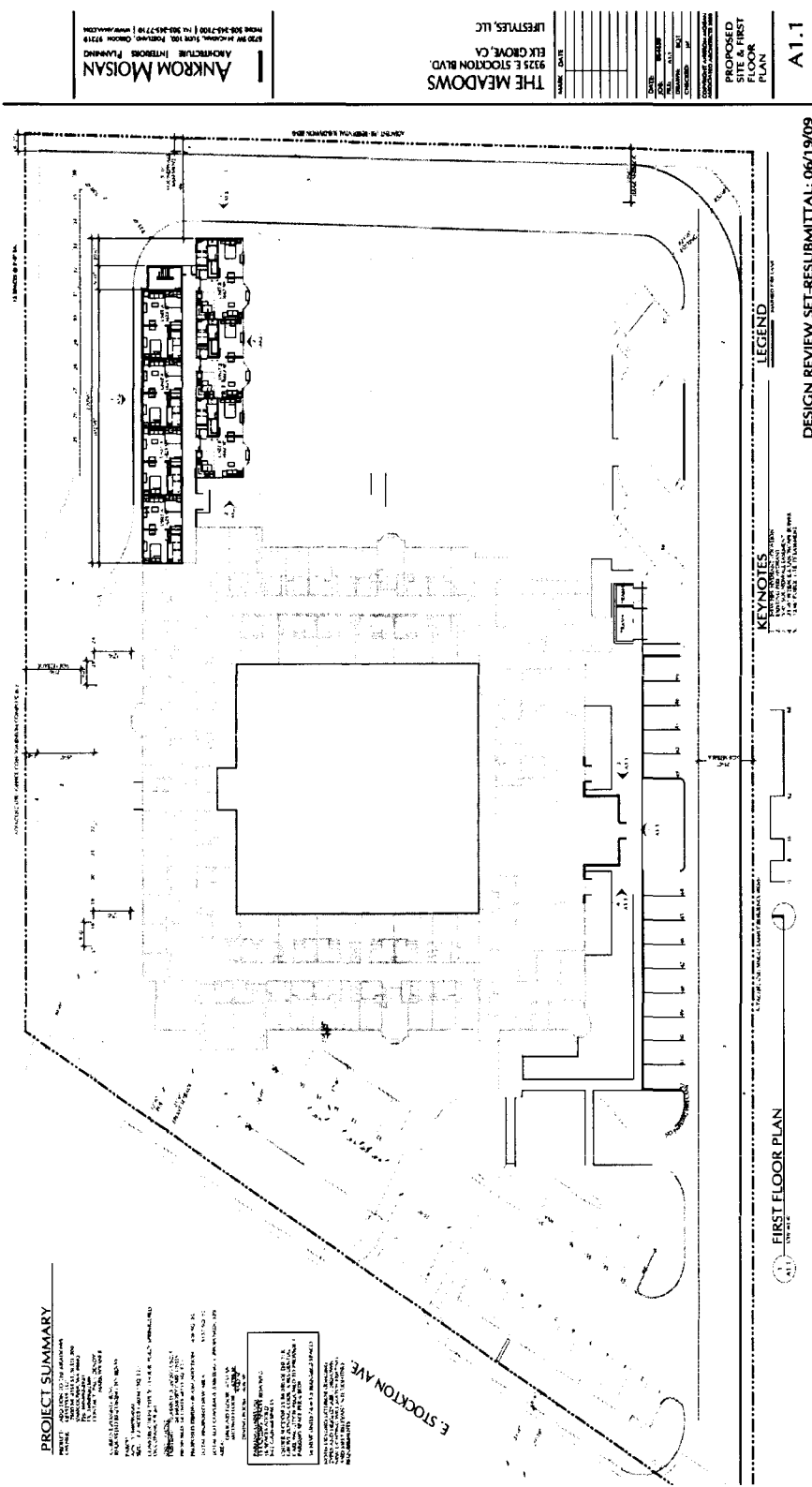
1. Dead-end streets in excess of 150 feet require emergency vehicle turn-around.
2. Any and all gates impeding fire lanes or roadways shall comply with Appendix D of the 2007 City of Elk Grove Fire Code.
3. All civil engineering plans are required to be submitted in an electronic format. When plans are ready for final signature, it is required that the engineering firm submits an electronic copy of the complete plan as it appears in the approved printed plans with addresses. All electronic formats will be submitted on Windows/DOS formatted diskettes, zip disks or on compact disk (CD). E-mailed copies will not be accepted at this time. The electronic submittal shall include ALL supporting drawing files and ALL drawing files pertaining to the project, including XREFs. The digital submittal shall be ONLY in the following data format listed below:

DWG (Applies to AUOCAD drawing file) any AutoCAD DWG version is accepted

4. All commercial buildings, in excess of 3,599 square feet shall be equipped with an approved automatic fire sprinkler system.
5. Commercial developments in excess of 10,000 square feet require looped fire mains of a minimum of ten (10) inch diameter to supply fire hydrants spaced at a maximum of 300-foot intervals. This on-site fire main shall be connected to the municipal water main at not less than two (2) points.
6. This development is required to provide fire flow from a public water system capable of delivering at a minimum 50 PSI static pressure and 3,000 GPM at 20 PSI residual pressure in commercial areas and 50 PSI static pressure. Buildings of certain types of construction, size, and use may need additional fire flow or the application of mitigating efforts to meet fire flows above this minimum.
7. All required roadways, street signs, addresses, water mains, fire hydrants, and fire flows shall be provided prior to the existence of any combustible construction or storage. The slope of access roadways shall not exceed 10% for asphalt and 5% for concrete. The roadways shall be constructed to a 20-foot minimum width of three (3) inches AC over six (6) inches AB with good drainage.
8. CCSDFD approved traffic pre-emption devices of a type approved by the Cosumnes CSD Fire Department shall be installed on all traffic signal devices erected or modified by this development. These devices shall be installed and functioning prior to any occupancy and at no cost to the Cosumnes CSD Fire Department.
9. Required fire alarm systems shall be connected to a UL listed central station approved by the Sacramento County Regional Communications Center.

10. The installation of on-site or off-site fire protection equipment including fire hydrants and water mains shall meet the standards of the Cosumnes CSD Fire Department and the water purveyor having jurisdiction.
11. The installation of roadway gates, addresses, landscaping, pipe bollards, fuel tanks, masonry sound walls tree wells and/or all other traffic calming devices is subject to standards outlined by the Cosumnes CSD Fire Department. All proposed traffic-mitigation plans shall be submitted to the Cosumnes CSD Fire Department for review and approval prior to installation.

EXHIBIT B



PROJECT SUMMARY

PROJECT LOCATION: 9225 E. STOCKTON AVE., STOCKTON, CA 95210
 PROJECT OWNER: THE MEADOWS LIFESTYLES, LLC
 ARCHITECT: ANKROM MOISAN ARCHITECTURE INTERIORS PLANNING
 6725 NW HAWTHORNE, SUITE 100, PORTLAND, OREGON 97218
 PHONE: 503-253-7278 FAX: 503-253-7778 WWW.AMKM.COM

PROVISIONAL NOTES:
 1. THIS SET OF DRAWINGS IS PRELIMINARY AND SUBJECT TO CHANGE WITHOUT NOTICE.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS AND UTILITIES.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ALL AREAS TO ORIGINAL OR BETTER CONDITION.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY BONDS.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REFERENCES.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REFERENCES.

E. STOCKTON AVE

ANKROM MOISAN
 ARCHITECTURE INTERIORS PLANNING
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 PHONE: 503-253-7278 FAX: 503-253-7778 WWW.AMKM.COM

THE MEADOWS
 9225 E. STOCKTON BLVD.
 ELK GROVE, CA
 LIFESTYLES, LLC

NO.	DATE	DESCRIPTION
1	06/19/09	PROPOSED FIRST FLOOR PLAN
2	06/19/09	REVISIONS
3	06/19/09	REVISIONS
4	06/19/09	REVISIONS
5	06/19/09	REVISIONS
6	06/19/09	REVISIONS
7	06/19/09	REVISIONS
8	06/19/09	REVISIONS
9	06/19/09	REVISIONS
10	06/19/09	REVISIONS

PROPOSED
 FIRST
 FLOOR
 PLAN

A1.1

DESIGN REVIEW SET-RESUBMITTAL: 06/19/09

LEGEND

KEYNOTES

1. SEE SHEET A1.1 FOR GENERAL NOTES.

2. SEE SHEET A1.1 FOR GENERAL NOTES.

3. SEE SHEET A1.1 FOR GENERAL NOTES.

4. SEE SHEET A1.1 FOR GENERAL NOTES.

5. SEE SHEET A1.1 FOR GENERAL NOTES.

6. SEE SHEET A1.1 FOR GENERAL NOTES.

7. SEE SHEET A1.1 FOR GENERAL NOTES.

8. SEE SHEET A1.1 FOR GENERAL NOTES.

9. SEE SHEET A1.1 FOR GENERAL NOTES.

10. SEE SHEET A1.1 FOR GENERAL NOTES.

11. SEE SHEET A1.1 FOR GENERAL NOTES.

12. SEE SHEET A1.1 FOR GENERAL NOTES.

13. SEE SHEET A1.1 FOR GENERAL NOTES.

14. SEE SHEET A1.1 FOR GENERAL NOTES.

15. SEE SHEET A1.1 FOR GENERAL NOTES.

16. SEE SHEET A1.1 FOR GENERAL NOTES.

17. SEE SHEET A1.1 FOR GENERAL NOTES.

18. SEE SHEET A1.1 FOR GENERAL NOTES.

19. SEE SHEET A1.1 FOR GENERAL NOTES.


The Meadows-Senior Assisted Living Facility (EG-07-126)

**CERTIFICATION
ELK GROVE CITY COUNCIL RESOLUTION NO. 2008-236**

STATE OF CALIFORNIA)
COUNTY OF SACRAMENTO) **ss**
CITY OF ELK GROVE)

I, Susan J. Blackston, City Clerk of the City of Elk Grove, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the City Council of the City of Elk Grove at a regular meeting of said Council held on October 22, 2008 by the following vote:

AYES : COUNCILMEMBERS: Cooper, Leary, Scherman
NOES: COUNCILMEMBERS: None
ABSTAIN : COUNCILMEMBERS: None
ABSENT: COUNCILMEMBERS: Davis, Hume


Susan J. Blackston, City Clerk
City of Elk Grove, California